

Linkhorn Inspection Group LLC

Confidential Property Inspection Report



1234 N Main St, Dublin, OH 43016
Inspection prepared for: John Doe
Date of Inspection: 1/29/2019 Time: 1:30 PM
Age of Home: 2005 Size: 1924
Weather: Snowing 15 degrees

Inspector: Chris Toombs
12102601
615 Park Rd, Columbus, OH 43085
Phone: 614-260-1776
Email: info@linkhorninspections.com
www.linkhorninspections.com



Client Report Overview

Please Read this important information regarding your inspection report

CONVENTIONS USED IN THIS REPORT

For your convenience, the following conventions have been used in this report:

Major Concern: a system or component which is considered significantly deficient or is unsafe. Significant deficiencies need to be corrected and, except for some safety items, are likely to involve significant expense.

Safety Issue: denotes a condition that is unsafe and in need of prompt attention.

Repair/Replace: denotes a system or component which is missing or which needs corrective action to assure proper and reliable function.

Improve: denotes improvements which are recommended but not required.

Monitor: denotes a system or component needing further investigation and/or monitoring in order to determine if repairs are necessary.

Deferred Cost: denotes items that have reached or are reaching their normal life expectancy or show indications that they may require repair or replacement anytime during the next five (5) years. Please note that those observations listed under "Discretionary Improvements" are not essential repairs, but represent logical long term improvement.

Maintenance Item: A system or component that is operable and/or in acceptable condition at the time of inspection, but may require periodic maintenance to help ensure reliable performance or operation. This may include servicing of appliances, painting of exterior wood components etc.

INSPECTION CHECKLIST ABBREVIATIONS

IN- System or Components were inspected.

NI- System or components were not inspected. Reasons or obstructions will be listed.

NA- System or component does not exist within this home.

NP- System or Component is not present in this home.

RE- Systems or components the inspector determines as needing evaluation from a technical professional or contractor.

IMPROVEMENT RECOMMENDATION HIGHLIGHTS / SUMMARY

The following is a synopsis of the potentially significant improvements that should be budgeted for over the short term. Other significant improvements, outside the scope of this inspection, may also be necessary. Please refer to the body of this report for further details on these and other recommendations. For your safety and liability purposes, we recommend that licensed contractors evaluate and repair any critical concerns and defects. Note that this report is a snapshot in time. We recommend that you or your representative carry out a final walk-through inspection immediately before closing to check the condition of the property, using this report as a guide.

THE SCOPE OF THE INSPECTION

All components designated for inspection in the InterNACHI Standards of Practice are inspected, except as may be noted in the "Limitations of Inspection" sections within this report. It is the goal of the inspection to put a home buyer in a better position to make a buying decision. Not all improvements will be identified during this inspection. Unexpected repairs should still be anticipated. The inspection should not be considered a guarantee or warranty of any kind. Please refer to the pre-inspection contract for a full explanation of the scope of the inspection. Properties being inspected do not "Pass" or "Fail." - The following report is based on an inspection of the visible portion of the structure; inspection may be limited by vegetation and possessions. Depending upon

the age of the property, some items like GFCI outlets may not be installed; this report will focus on safety and function, not current code. This report identifies specific non-code, non-cosmetic concerns that the inspector feels may need further investigation or repair.

A WORD ABOUT CONTRACTORS AND 20-20 HINDSIGHT

A common source of dissatisfaction with inspectors sometimes comes as a result of off-the cuff comments made by contractors (made after-the-fact), which often differ from ours. Don't be surprised when someone says that something needed to be replaced when we said it needs to be repaired, replaced, upgraded, or monitored. Having something replaced may make more money for the contractor than just doing a repair. Contractors sometimes say, "I can't believe you had this building inspected and they didn't find this problem." There may be several reasons for these apparent oversights: Conditions during inspection - It is difficult for clients to remember the circumstances in the subject property at the time of the inspection. Clients seldom remember that there was storage everywhere, making things inaccessible, or that the air conditioning could not be turned on because it was 60° outside. Contractors do not know what the circumstances were when the inspection was performed. The wisdom of hindsight - When a problem occurs, it is very easy to have 20/20 hindsight. Anybody can say that the roof is leaking when it is raining outside and the roof is leaking. In the midst of a hot, dry, or windy condition, it is virtually impossible to determine if the roof will leak the next time it rains. Predicting problems is not an exact science and is not part of the inspection process. We are only documenting the condition of the property at the time of the inspection.

Report Summary

Structure		
Page 6	Crawl space	• Repair: Disconnected ductwork in the crawl space should be repaired (west crawlspace). Disconnected duct work increases heating/cooling costs.
Roofing		
Page 7	Roof observation	• Possible Repair: Minor repairs to the roofing may be needed to prevent wind damage. Loose or curling cap shingles should be secured or repaired. All roof penetrations should be examined and sealed as necessary. Aging or loose flashing can cause leaks, these items should be maintained periodically to prevent water intrusion.
Exterior		
Page 9	Exterior wall observation	• Repair: Localized damage of the stucco exterior walls (staining and or cracks) should be repaired at (around exterior windows). There is extra risk of hidden damage in such areas caused by previous or present leaks that should be repaired. It is recommended that a qualified stucco contractor be consulted to further evaluate the stucco system to determine if additional hidden damage may be present. Unfortunately, stucco/stone exteriors are very vulnerable to moisture intrusion, and can cause damage that is not visible in the course of a home inspection.
Page 10	Eaves / Soffits / Fascias observation	• Repair/Replace: Loose soffit should be repaired at (rear covered porch).
Page 11	Garage / Carport observation	• Safety Issue: The garage door opener did not automatically reverse under resistance to closing. There is a serious risk of injury, particularly to children, under this condition. The opener is tested with a 2x4 laying flat on the floor per most manufactures directions and the opener may need the down force adjusted or the unit may need replacement. Recommend a qualified trained professional for further review.
Electrical		
Page 14	Service panel observations	• Repair: Circuits within the main panel that are doubled up (referred to as "double taps") should be separated. Each circuit should be served by a separate fuse or breaker. (Left side of panel, 15 amp circuit near bottom)
Page 15	Service grounding observation	• Repair: Ground wire connection is not connected to ground rod and should be repaired.
Cooling system		
Page 18	Cooling system observation	• Repair: The outdoor unit of the air conditioning system requires cleaning.
Plumbing		

Page 22	Water Heater observation	<ul style="list-style-type: none">• Safety Issue: The hot water temperature was (145) degrees at the time of inspection. This can be a scald hazard. Recommend lowering water temperature for improved safety. Hot water temperatures should not exceed 120 degrees F.
Page 22	Fuel Storage and Distribution observation	<ul style="list-style-type: none">• Repair: The yellow flexible steel gas line should be grounded to electric panel or replaced with black lightning rated CSSI (corrugated stainless steel tubing). This will help prevent mechanical failure if house is struck by lightning.
Page 23	Plumbing Fixtures	<ul style="list-style-type: none">• Repair/Replace: The (middle bedroom bath sink and kitchen sink) faucet(s) are leaky.• Repair: Leak under sink at overflow piping should be repaired at (master bath right sink).• Repair: The toilet is loose at (master bath and basement bath) secure as needed.
Interior		
Page 24	Floor observation	<ul style="list-style-type: none">• Repair: The transition strip is loose and should be secured. (Between kitchen and laundry room)

Structure

LIMITATIONS OF STRUCTURE INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Structural components concealed behind finished surfaces could not be inspected.
- Only a representative sampling of visible structural components were inspected.
- Furniture and/or storage restricted access to some structural components.
- Engineering or architectural services such as calculation of structural capacities, adequacy, or integrity are not part of a home inspection.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

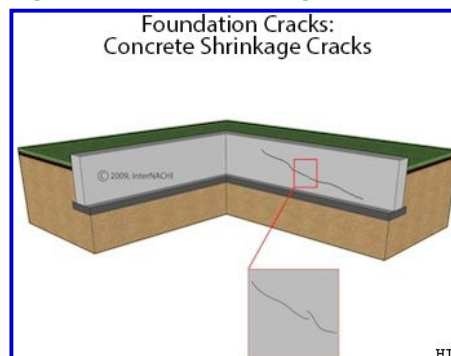
Foundation observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials / type Poured Concrete • Basement and Crawl Space Configuration • 80% Of Foundation Was Not Visible

Observations:

- **Monitor:** Minor vertical cracks were observed in the foundation. This type and pattern of cracking is usually the result of concrete shrinkage as it cures. Shrinkage cracks are not normally a concern. These cracks may need sealing on the exterior to prevent moisture penetration.



Monitor: Minor vertical cracks were observed in the foundation. This type and pattern of cracking is usually the result of concrete shrinkage as it cures. Shrinkage cracks are not normally a concern. These cracks may need sealing on the exterior to prevent moisture penetration.

Floor structure observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Wood Joist

Wall structure observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials:
• Wood Frame

Roof structure observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Rafters • Trusses • Waferboard Sheathing

Wood destroying insects

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- **Improve:** Firewood storage should be moved away from the house. Wood storage against the house increases risk of wood destroying insect activity.



Improve: Firewood storage should be moved away from the house. Wood storage against the house increases risk of wood destroying insect activity.

Crawl space

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- **Repair:** Disconnected ductwork in the crawl space should be repaired (west crawlspace). Disconnected duct work increases heating/cooling costs.



Disconnected vent in (west) crawlspace

Roofing

LIMITATIONS OF ROOFING INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Not all of the underside of the roof sheathing is inspected for evidence of leaks.
- Evidence of prior leaks may be disguised by interior finishes.
- Estimates of remaining roof life are approximations only and do not preclude the possibility of leakage. Leakage can develop at any time and may depend on rain intensity, wind direction, ice build up, and other factors.
- Antennae, chimney/flue interiors which are not readily accessible are not inspected and could require repair.
- Roof inspection may be limited by access, condition, weather, or other safety concerns.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Roof observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Materials: Asphalt Shingle

Observations:

- **Possible Repair:** Minor repairs to the roofing may be needed to prevent wind damage. Loose or curling cap shingles should be secured or repaired. All roof penetrations should be examined and sealed as necessary. Aging or loose flashing can cause leaks, these items should be maintained periodically to prevent water intrusion.



Loose or curling cap shingle should be secured or repaired



Roof flashing observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Metal

Chimney observation

IN	NI	NA	NP	RE
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Roof drainage observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Aluminum • Downspouts discharge below grade**Observations:**

- **Monitor:** The downspouts that discharge below grade level should be monitored. If they are ever suspected to be clogged or disconnected below grade, they should be redirected to discharge at least five (5) feet from the building. Foundation leakage adjacent to a downspout is an indication of a problem below grade.

Method of inspection

Viewed from ladder at eaves • Viewed with binoculars

Limitations of roofSnow on roof • Wet surfaces • **Not all of roof surface was visible at time of inspection.**

Exterior

LIMITATIONS OF EXTERIOR INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- A representative sample of exterior components was inspected rather than every occurrence of components.
- The inspection does not include an assessment of geological, geotechnical, or hydrological conditions, or environmental hazards.
- Screening, shutters, awnings, or similar seasonal accessories, fences, recreational facilities, outbuildings, seawalls, breakwalls, docks, erosion control and earth stabilization measures are not inspected unless specifically agreed-upon and documented in this report.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

House

Single Family

House faces

- East

Occupancy

Occupied - Furnished

Exterior wall observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Brick • Stucco • Stone

Observations:

• **Improve:** The siding is lacking proper sealant joints at intersections of dissimilar materials. This condition should be repaired to help prevent moisture intrusion. (Brick meets wood, stucco meets wood or brick, window or trim intersections, etc.)

• **Repair:** Localized damage of the stucco exterior walls (staining and or cracks) should be repaired at (around exterior windows). There is extra risk of hidden damage in such areas caused by previous or present leaks that should be repaired. It is recommended that a qualified stucco contractor be consulted to further evaluate the stucco system to determine if additional hidden damage may be present. Unfortunately, stucco/stone exteriors are very vulnerable to moisture intrusion, and can cause damage that is not visible in the course of a home inspection.



Seal joints of dissimilar materials
(Southeast corner)



Seal joints of dissimilar materials
(around exterior windows)



Stucco cracks should be repaired
(around exterior windows)



Stucco cracks should be repaired
(around exterior windows)



Stucco crack observed (rear of home above patio)

Eaves / Soffits / Fascias observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Wood • Aluminum • Metal

Observations:

- **Repair/Replace:** Loose soffit should be repaired at (rear covered porch).



Loose soffit (rear covered porch)

Exterior doors / windows observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials:
• Metal-Covered

Observations:

- **Improve:** Exterior rear door trim is lacking paint maintenance and should be improved.



Improve: Exterior door trim is lacking paint maintenance and should be improved.

Driveway observation

IN	NI	NA	NP	RE
✓				

Materials: Asphalt

Observations:

- **Maintenance Item:** The application of a driveway sealer should be performed to help prevent further deterioration from sun and water.

Walkway observation

IN	NI	NA	NP	RE
✓				

Materials: Concrete

Observations:

- Walkway has normal wear and tear.

Porch / Deck / Patio observation

IN	NI	NA	NP	RE
✓				

Materials: Concrete

Observations:

- Porch in good condition

Garage / Carport observation

IN	NI	NA	NP	RE
✓				

Materials: Steel

Observations:

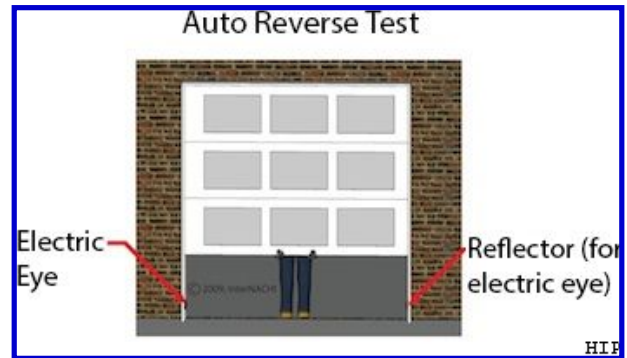
- Overhead garage door opener tested and is working properly.

• **Monitor:** The garage floor slab has typical cracks usually the result of shrinkage and/or settling of the slab. Cracks more than 1/8" high could present a trip hazard.

• **Safety Issue:** The garage door opener did not automatically reverse under resistance to closing. There is a serious risk of injury, particularly to children, under this condition. The opener is tested with a 2x4 laying flat on the floor per most manufactures directions and the opener may need the down force adjusted or the unit may need replacement. Recommend a qualified trained professional for further review.



Garage has typical floor cracks



Lot drainage observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Level Grade

Observations:

• **Improve:** The grading should be improved to promote the flow of storm water away from the house. This can often be accomplished by the addition or re-grading of top soil. The ground should slope away from the house at a rate of one inch per foot for at least the first ten feet. At least eight (8) inches of clearance should be maintained between soil level and the bottom of exterior wall siding.

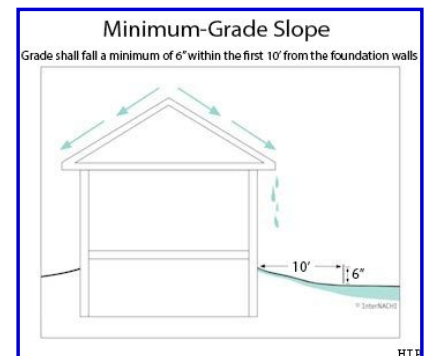
• **Improve:** Covers should be provided for basement window wells to keep storm water out of the well.



Recommend installing covers for window wells



Grading should be improved



Landscaping / Fence observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

• **Note:** Landscape components restricted a view of some exterior areas of the house.

Steps observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Concrete

Exterior limitations

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

- Note: Snow restricted an inspection of the lot and various other aspects of the exterior of the house.
- Note: Landscape components restricted a view of some exterior areas of the house.
- The integrity and moisture content of framing and sheathing behind finished coverings (exterior siding, cement stone coverings, fiber cement siding, drywall, etc.) is not visible to inspect and beyond the scope of our services and is excluded within our inspection.

Electrical

LIMITATIONS OF ELECTRICAL INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Electrical components concealed behind finished surfaces are not inspected.
- Only a representative sampling of outlets and light fixtures were tested.
- Furniture and/or storage restricted access to some electrical components which may not be inspected.
- The inspection does not include remote control devices, alarm systems and components, low voltage wiring, systems, and components, ancillary wiring, systems, and other components which are not part of the primary electrical power distribution system.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Electrical service observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Electric service Underground Service • 120/240 Volts • Service entrance multi strand aluminum • GE

Observations:

- **Electric in good condition**



Electric in good condition

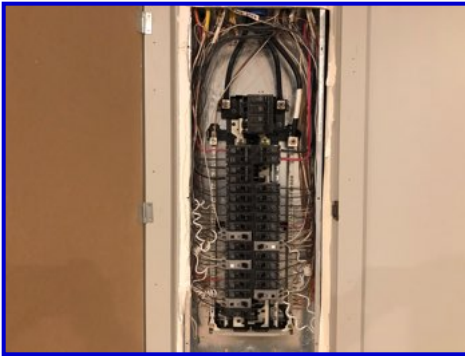
Service panel observations

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

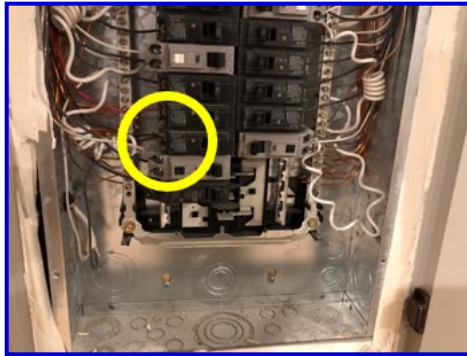
Service panel Basement front left • 200 AMP • Panel rating 200 amps

Observations:

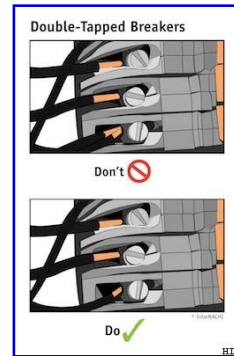
- **Repair:** Circuits within the main panel that are doubled up (referred to as “**double taps**”) should be separated. Each circuit should be served by a separate fuse or breaker. (Left side of panel, 15 amp circuit near bottom)



Electrical Panel



Repair: Circuits within the main panel that are doubled up (referred to as "double taps") should be separated. Each circuit should be served by a separate fuse or breaker.



Distribution wiring observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Copper

Service grounding observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Materials: Copper • Ground rod connection

Observations:

- **Repair:** Ground wire connection is not connected to ground rod and should be repaired.



Outlets / Switches / Fixtures observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Grounded • ---**GFCI**'s--- • Bathrooms • Exterior • Garage • Kitchen

Observations:

- All accessible outlets tested ok at the time of inspection.

Smoke/Carbon Monoxide detectors observations

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Present

Observations:

- **Improve, Safety Issue:** Smoke detectors should be replaced every 10 years. The detectors present should be investigated to determine if they need replaced.

Heating system

LIMITATIONS OF HEATING INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- The adequacy of heat supply or distribution balance is not inspected.
- The interior of flues or chimneys which are not readily accessible are not inspected.
- The furnace heat exchanger, humidifier, or dehumidifier, and electronic air filters are not inspected.
- Solar space heating equipment/systems are not inspected.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Heating system observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

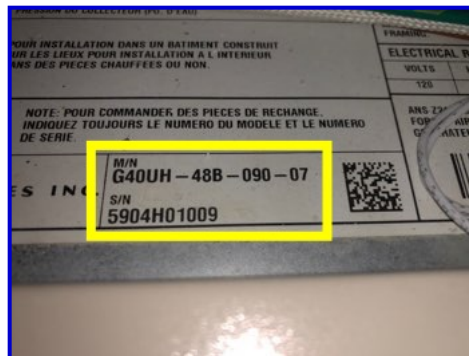
System type Manufacturer: Lennox (2004) • Forced Air Furnace •
Thermostat location(s) Living room

Fuel source Natural Gas

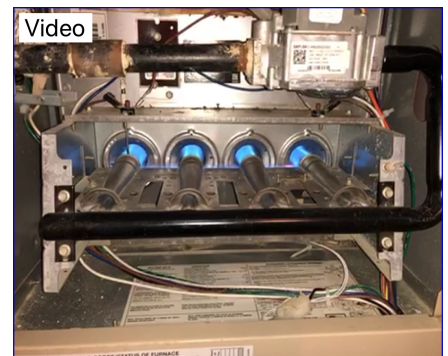
Observations:

- **Model number and serial number**

• **Maintenance Item: The HVAC system should be serviced by a qualified technician yearly. This is recommended by the manufacturer to help prevent breakdowns and help ensure safe operation. (No recent service records/age/condition)**



Model and serial number



Heat Supply Temp



Heat Return Temp

Ductwork and Exhaust observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

- Materials:
- Non-Insulated
 - Metal-Single Wall
 - Metal-Multi Wall

Cooling system

LIMITATIONS OF COOLING / HEAT PUMPS INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Window mounted air conditioning units are not inspected.
- The cooling supply adequacy or distribution balance are not inspected.
- The air conditioning system could not be tested as the outdoor temperature was at or below 65 degrees F.
- The data plate on the cooling system was not visible/legible at the time of the inspection.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Cooling system observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

System type Manufacturer Lennox (2005) • Central Air Conditioner

Fuel source Electric

Observations:

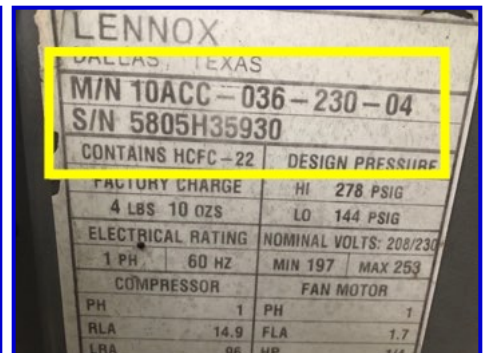
- **Model number and serial number**

• **Outside temperature prevent testing of unit. If outside temperature is below 40 degrees, then system is not tested.**

- **Repair: The outdoor unit of the air conditioning system requires cleaning.**



Unit needs cleaned



Model and serial number

Insulation/Ventilation

LIMITATIONS OF INSULATION / VENTILATION INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Insulation/ventilation type and levels in concealed areas are not inspected. Insulation and vapor barriers are not disturbed and no destructive tests (such as cutting openings in walls to look for insulation) are performed.
- Potentially hazardous materials such as Asbestos and Urea Formaldehyde Foam Insulation (UFFI) cannot be positively identified without a detailed inspection and laboratory analysis. This is beyond the scope of the inspection.
- An analysis of indoor air quality is not part of our inspection unless explicitly contracted-for and discussed in this or a separate report.
- Any estimates of insulation R values or depths are rough average values.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Exterior Wall Insulation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials:
• Unknown

Basement / Crawlspace observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Fiberglass Batts

Attic observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials:
• Fiberglass Batts
• Blown **Cellulose**



Floor insulation observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Unknown

Ventilation observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Vent type ---Crawlspace--- • Vents to Interior of House • ---Roof--- • Ridge vent • Soffit vent • ---Exhaust vents--- • Bathroom • Dryer

Attic limitations

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Limitations

- The inspector was unable to visually see any item or component under attic insulation, such as bottom of truss or ceiling joist at drywall, electric and exhaust vents.

Plumbing

LIMITATIONS OF PLUMBING INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Portions of the plumbing system concealed by finishes and/or storage (below sinks, etc.), below the structure, or beneath the ground surface are not inspected.
- Water quantity and water quality are not tested unless explicitly contracted-for and discussed in this or a separate report.
- Clothes washing machine connections are not inspected.
- Interiors of flues or chimneys which are not readily accessible are not inspected.
- Water conditioning systems, solar water heaters, fire and lawn sprinkler systems, and private waste disposal systems are not inspected unless explicitly contracted-for and discussed in this or a separate report.
- Bathtubs and showers are not tested with the benefit of a person standing in the fixture. Leaks may arise that were not visible at the time of inspection.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Supply Plumbing

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

water info Water supply source - Public Water Supply • Service pipe to house - Plastic • Main water location - South Wall of Basement • Interior supply piping - Plastic



Main water shut off (basement south wall)

Waste System observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Waste info Public Sewer System • ---Waster, drain and vent piping--- • Not Visible

Water Heater observation

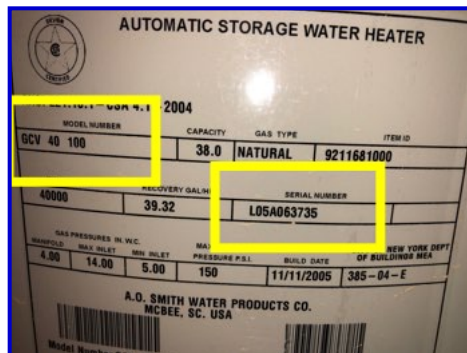
IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Water heater info

- Manufacturer AO Smith (2005)
- Water Heater Capacity :38
- Gas

Observations:

- Model number and serial number
- Water heater was working and no visible evidence of leaks at time of inspection.
- Deferred Cost Item: The water heater is an old unit that may be approaching the end of its useful life. It would be wise to budget for a new unit. One cannot predict with certainty when replacement will become necessary.
- Safety Issue: The hot water temperature was (145) degrees at the time of inspection. This can be a scald hazard. Recommend lowering water temperature for improved safety. Hot water temperatures should not exceed 120 degrees F.



Model and serial number



Safety Issue: The hot water temperature was (145) degrees at the time of inspection. This can be a scald hazard. Recommend lowering water temperature for improved safety. Hot water temperatures should not exceed 120 degrees F.

Fuel Storage and Distribution observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Fuel storage Natural Gas Main Valve At meter outside north wall

Observations:

- Repair: The yellow flexible steel gas line should be grounded to electric panel or replaced with black lightning rated **CSSI** (corrugated stainless steel tubing). This will help prevent mechanical failure if house is struck by lightning.



Main gas meter (north wall)

Other Components observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Additional systems Sump Pump

Observations:

- Sump pump area is sealed and could not be tested.

Plumbing Fixtures

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- ---Faucets---

- Repair/Replace: The (middle bedroom bath sink and kitchen sink) faucet(s) are leaky.

- Repair: Leak under sink at overflow piping should be repaired at (master bath right sink).

- Repair: The toilet is loose at (master bath and basement bath) secure as needed.



Master sink leaks at overflow connection

Plumbing limitations

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- Hose bibs were not tested due to outside air temperatures

Interior

LIMITATIONS OF INTERIOR INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions

- Furniture, storage, appliances and/or wall hangings are not moved to permit inspection and may block defects.
- Carpeting, window treatments, central vacuum systems, household appliances, recreational facilities, paint, wallpaper, and other finish treatments are not inspected.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Wall and ceiling observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Drywall

Observations:

- **Monitor:** Evidence of patching was detected (bottom of basement stairway).
- **Monitor:** Minor cracks were noted.
- **Monitor:** Typical drywall flaws were observed.

Floor observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Carpet • Tile • Wood

Observations:

- **Repair:** The transition strip is loose and should be secured. (Between kitchen and laundry room)

Window observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Window type

- Double/Single Hung
- Fixed Pane

Observations:

- **Monitor:** It may be desirable to replace window screens where missing. The owner should be consulted regarding any screens that may be in storage.

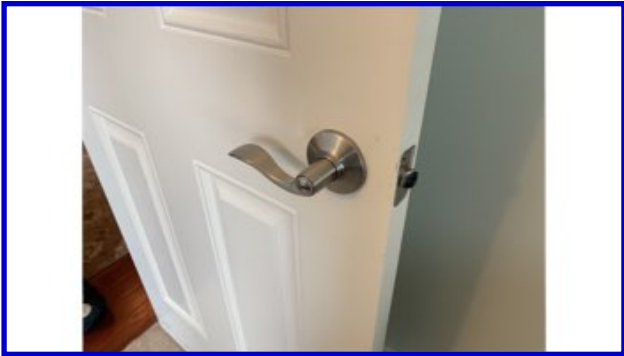
Doors observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Door type Wood • Storm Door(s)

Observations:

- **Improve:** Doors should be trimmed or adjusted as necessary to work and seal properly. (Front den door doesn't latch)



Kitchen cabinets & Counters observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Stairs observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Interior limitations

IN	NI	NA	NP	RE
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:
• Concealed foundation walls

Appliances

LIMITATIONS OF APPLIANCES INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions

- Thermostats, timers and other specialized features and controls are not tested.
- The temperature calibration, functionality of timers, effectiveness, efficiency and overall performance of appliances is outside the scope of this inspection.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Appliances Tested:

Electric Range GE • Microwave Oven GE • Dishwasher GE • Waste disposal • Refrigerator GE • Door Bell • Appliances are not tested through complete cycles. Limited testing is performed to ensure the appliance is operating.

Range / Stove

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- ---Electric---
- All burners and oven heating element were operational at time of inspection.



All burners and oven heating element were operational at time of inspection.

Refrigerator

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

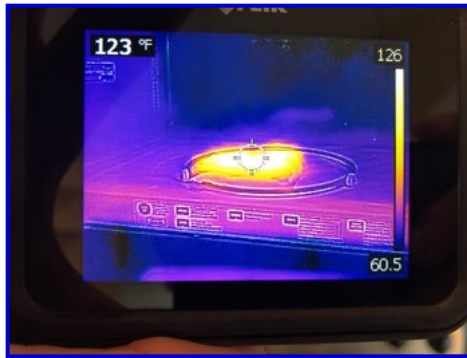
- The water dispenser was functional at the time of inspection. No ice was in ice maker to test dispenser.
- The refrigerator was functioning at the time of inspection.

Microwave

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- The microwave functioned when tested at the time of inspection.



The microwave functioned when tested at the time of inspection.

Waste Disposer

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- The waste disposal was functional at the time of inspection.

Clothes Washer

IN	NI	NA	NP	RE
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Clothes Dryer

IN	NI	NA	NP	RE
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Dishwasher

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- The dishwasher was tested through a rinse cycle at time of inspection. The dishwasher operated no leaks were observed at time of inspection. Please note that not all functions and cycles are tested during inspection.

Glossary

Term	Definition
CSST	Corrugated Stainless Steel Tubing (CSST) is a type of conduit used for natural gas heating in homes. It was introduced in the United States in 1988. CSST consists of a continuous, flexible stainless-steel pipe with an exterior PVC covering. The piping is produced in coils that are air-tested for leaks
Cellulose	Cellulose insulation: Ground-up newspaper that is treated with fire-retardant.
Double Tap	<p>A double tap occurs when two conductors are connected under one screw inside a panelboard. Most circuit breakers do not support double tapping, although some manufacturers, such as like Cutler Hammer, make hardware specially designed for this purpose.</p> <p>Double tapping is a defect when it is used on incompatible devices. If the conductors come loose, they cause overheating and electrical arcing, and the risk of fire is also present. A double tap can be accommodated by installing a new circuit board compatible with double tapping. It is also possible to add another circuit breaker or install a tandem breaker to the existing breaker box.</p>
GFCI	A special device that is intended for the protection of personnel by de-energizing a circuit, capable of opening the circuit when even a small amount of current is flowing through the grounding system.